

# Local Planning Panel

20 September 2023

# Application details

19-21 Buckland Street, Chippendale

D/2022/1359

Applicant: George Hay Pty Ltd

Owner: George Hay Pty Ltd

Planning Consultant: GYDE

Heritage Consultant: URBIS

Architect: AJC

# Proposal

- alterations and additions to a former warehouse building including:
  - demolition of existing floors
  - facade retention
  - construction of an additional three storeys
  - use of the site as an office premises

# Recommendation

- approval subject to conditions

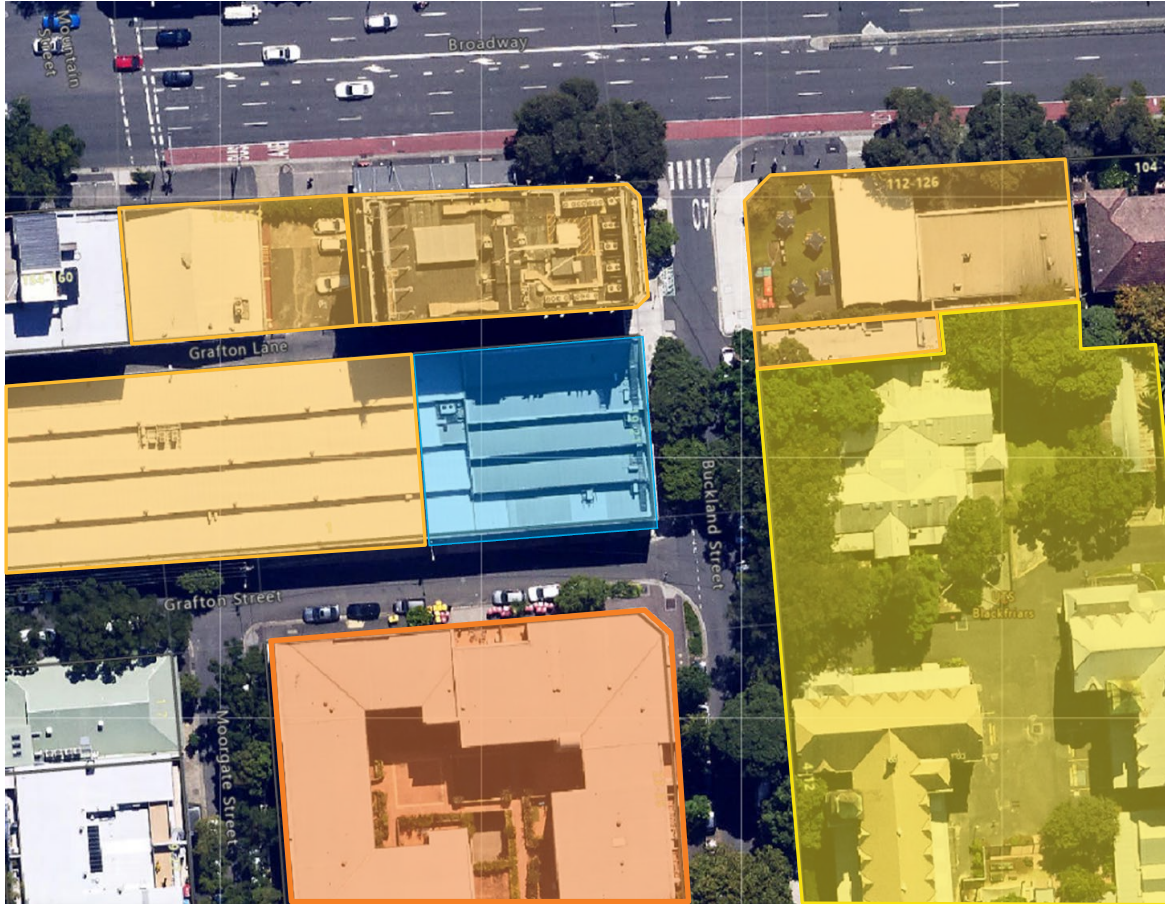
# Notification





- exhibition period 24 January 2023 to 15 February 2023
- 147 owners and occupiers notified
- 2 submissions received

# Submissions

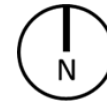
- construction impacts, particularly:
  - noise impacts on educational facility (University of Notre Dame) and residential premises
  - access to the educational facility and residential premises should be maintained
  - traffic should be managed to avoid impacts to residents
  - dust and debris should be controlled

# Site



-  subject site
-  UTS
-  Notre Dame
-  residential

# Submissions



 subject site

 Notre Dame  
(submitter)





looking north – corner of Grafton street and Buckland Street











Corner of Buckland Street and Grafton Lane







site's emergency egress door to Grafton Lane located on adjoining premises





looking west across Buckland Street - heritage building 'Pioneer House' to the north (right)



apartment building (23-35 Buckland Street) to south across Grafton Street



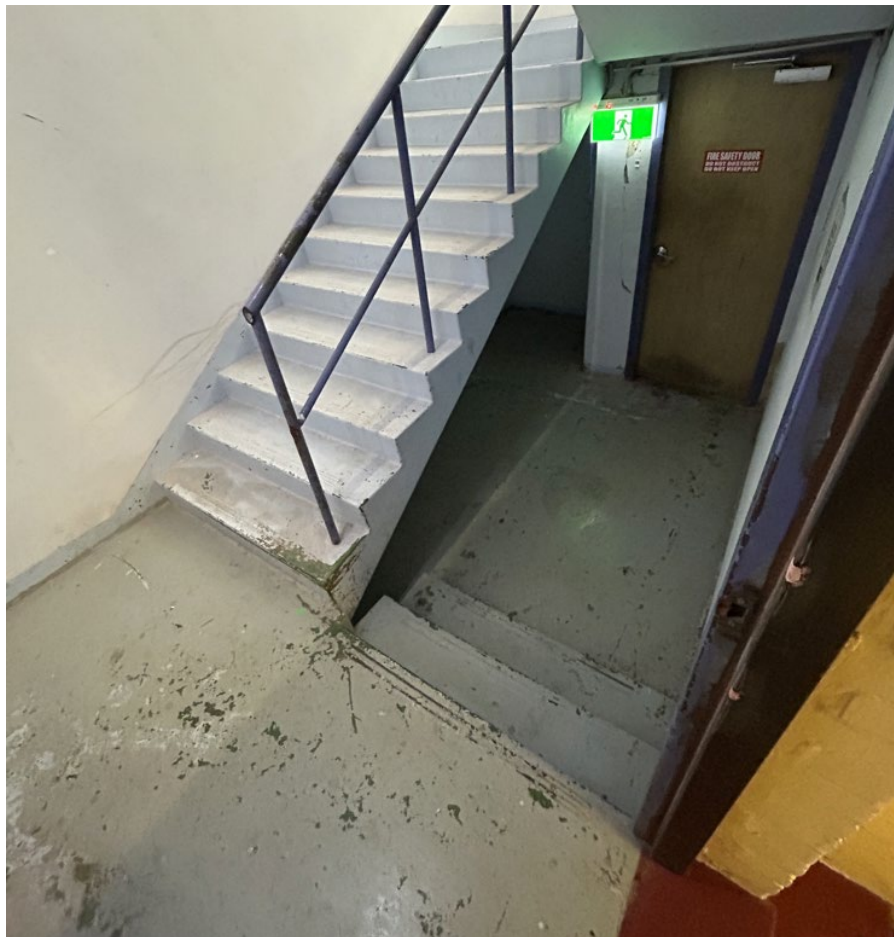


structural columns to be retained



existing structural columns and beams to be retained,  
with steel hoist beam (centre) to be removed

interior of the existing building

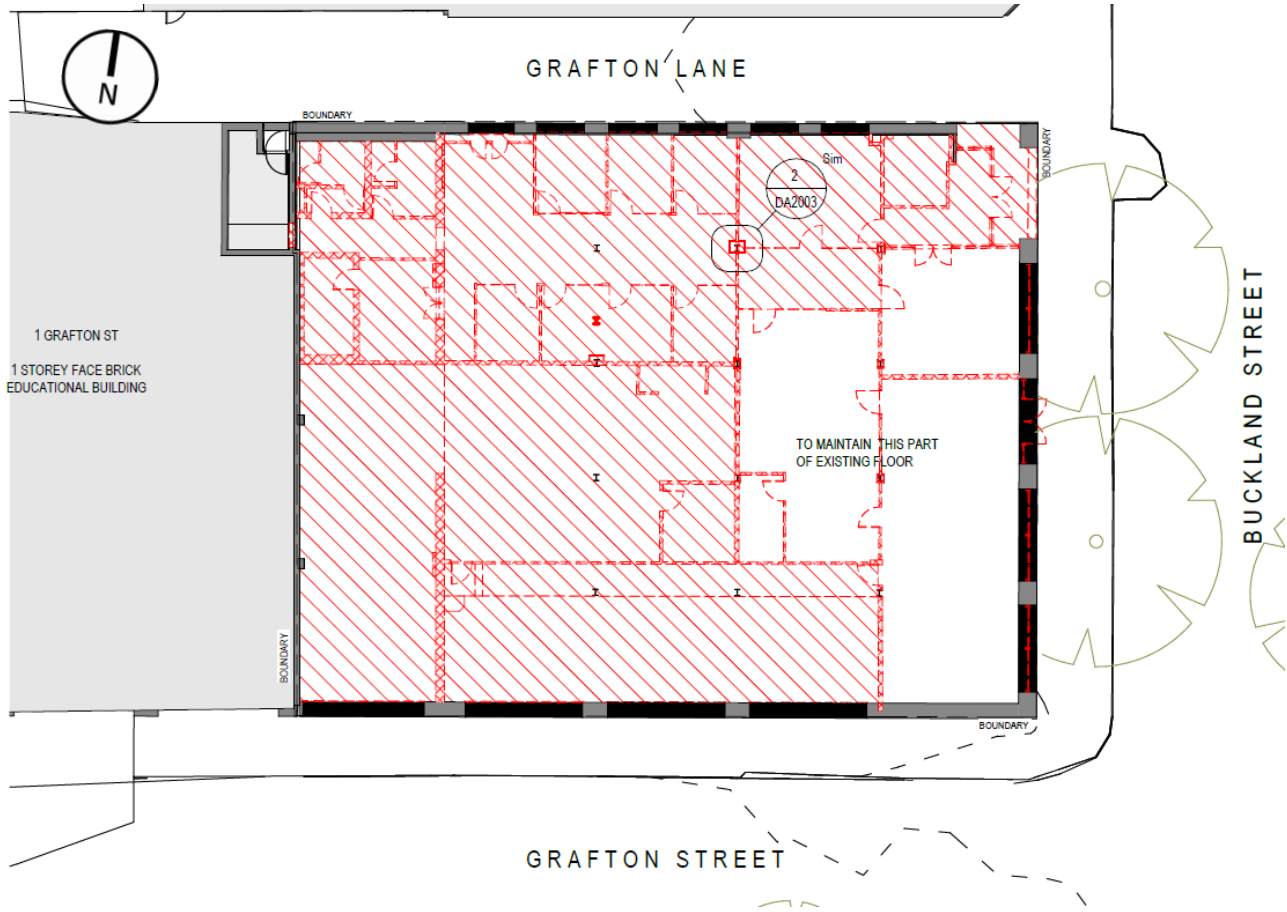


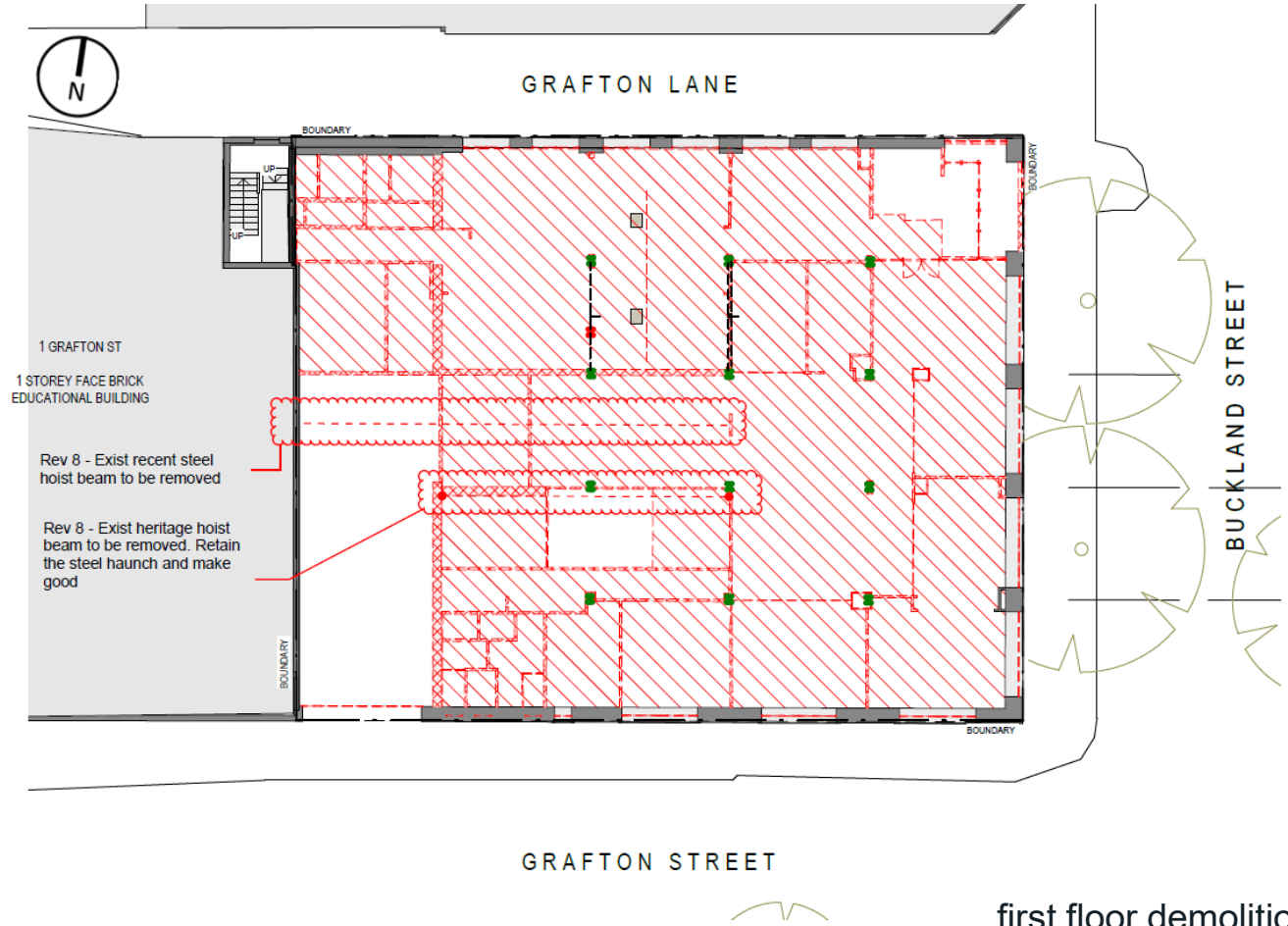
emergency egress door to Grafton Lane located in the neighbouring lot



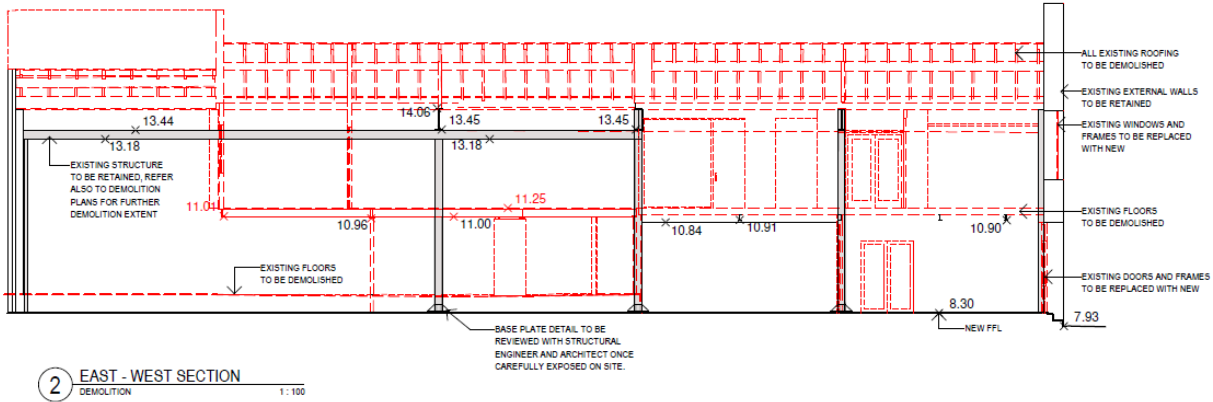
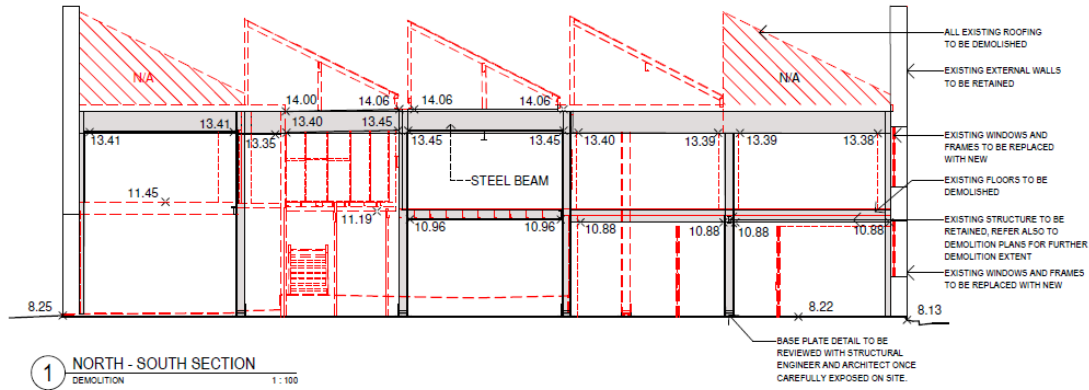
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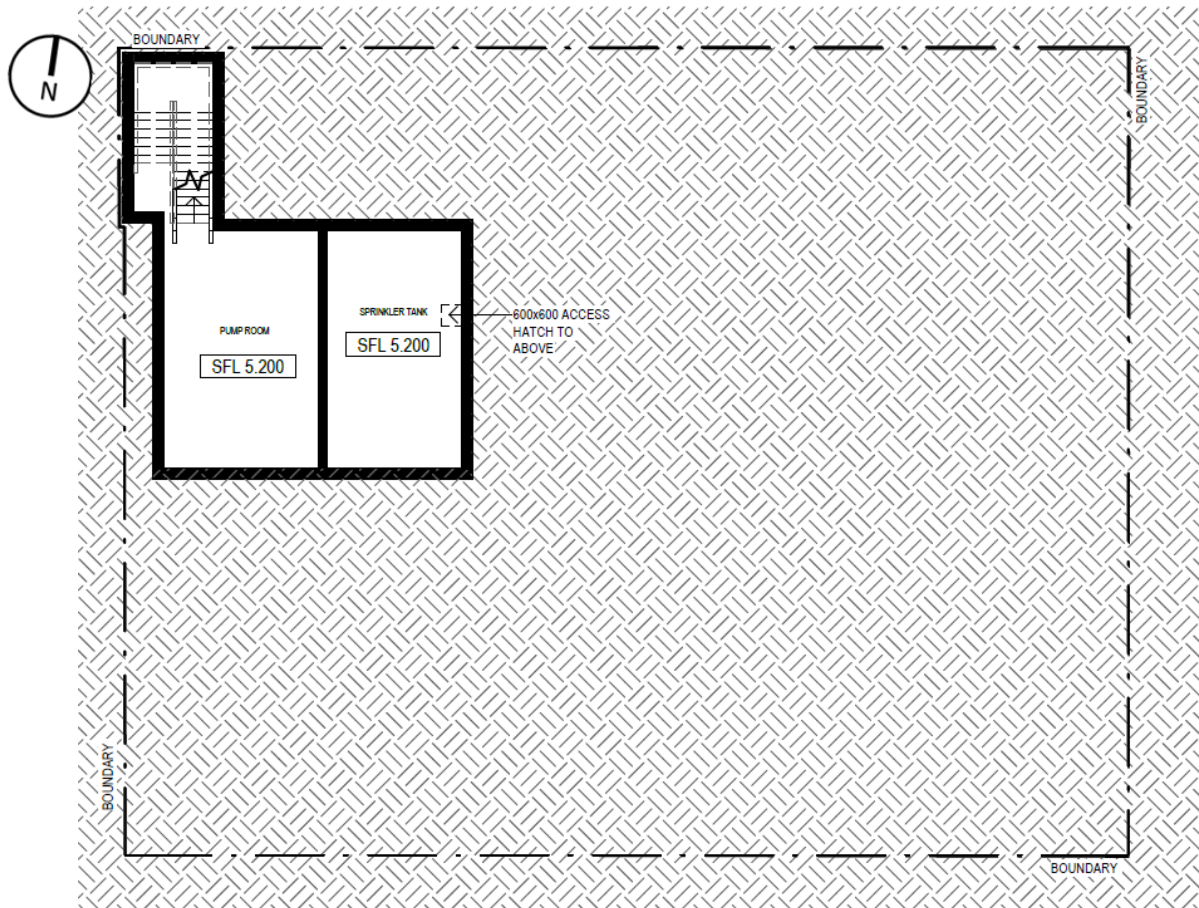






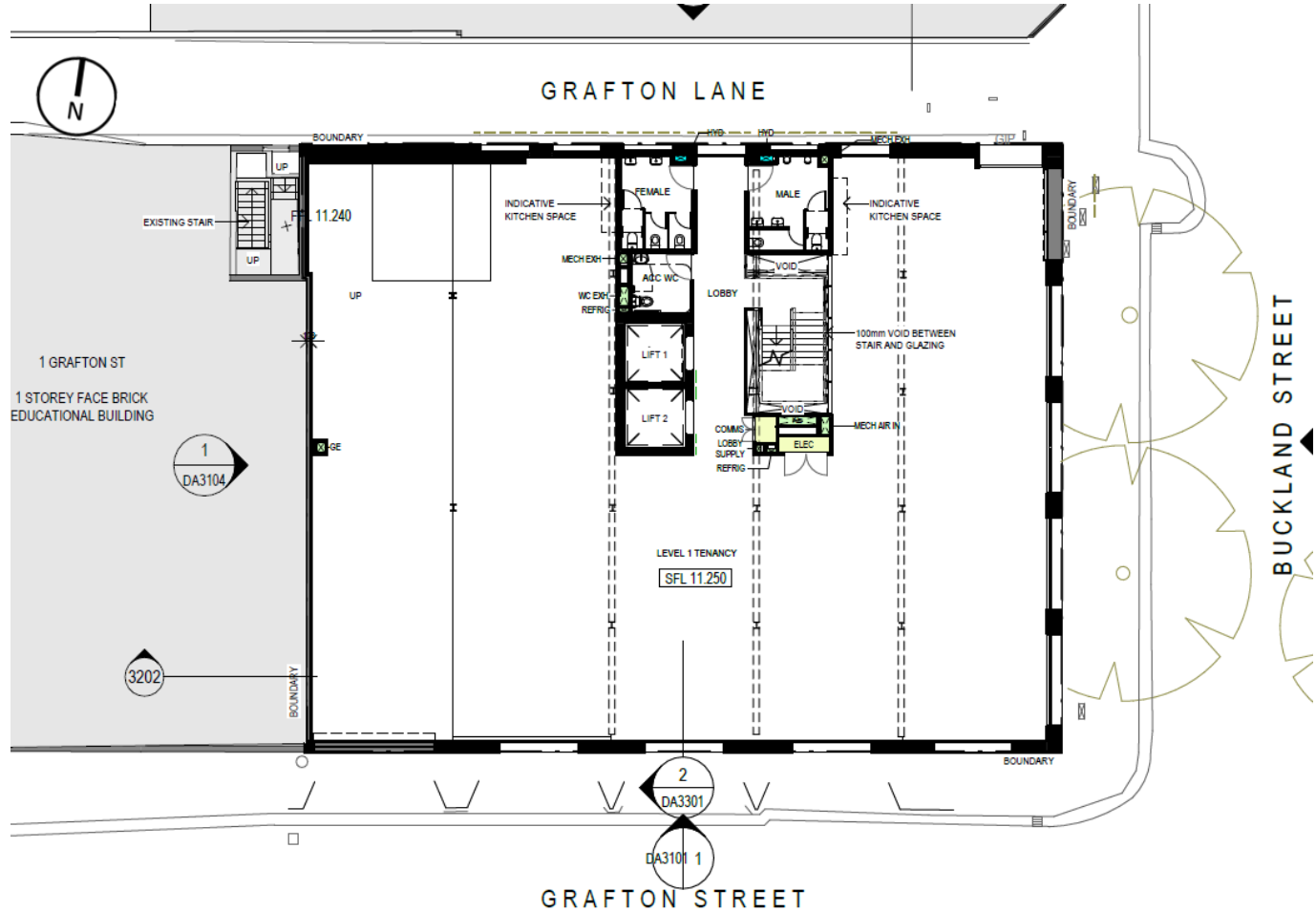
first floor demolition plan



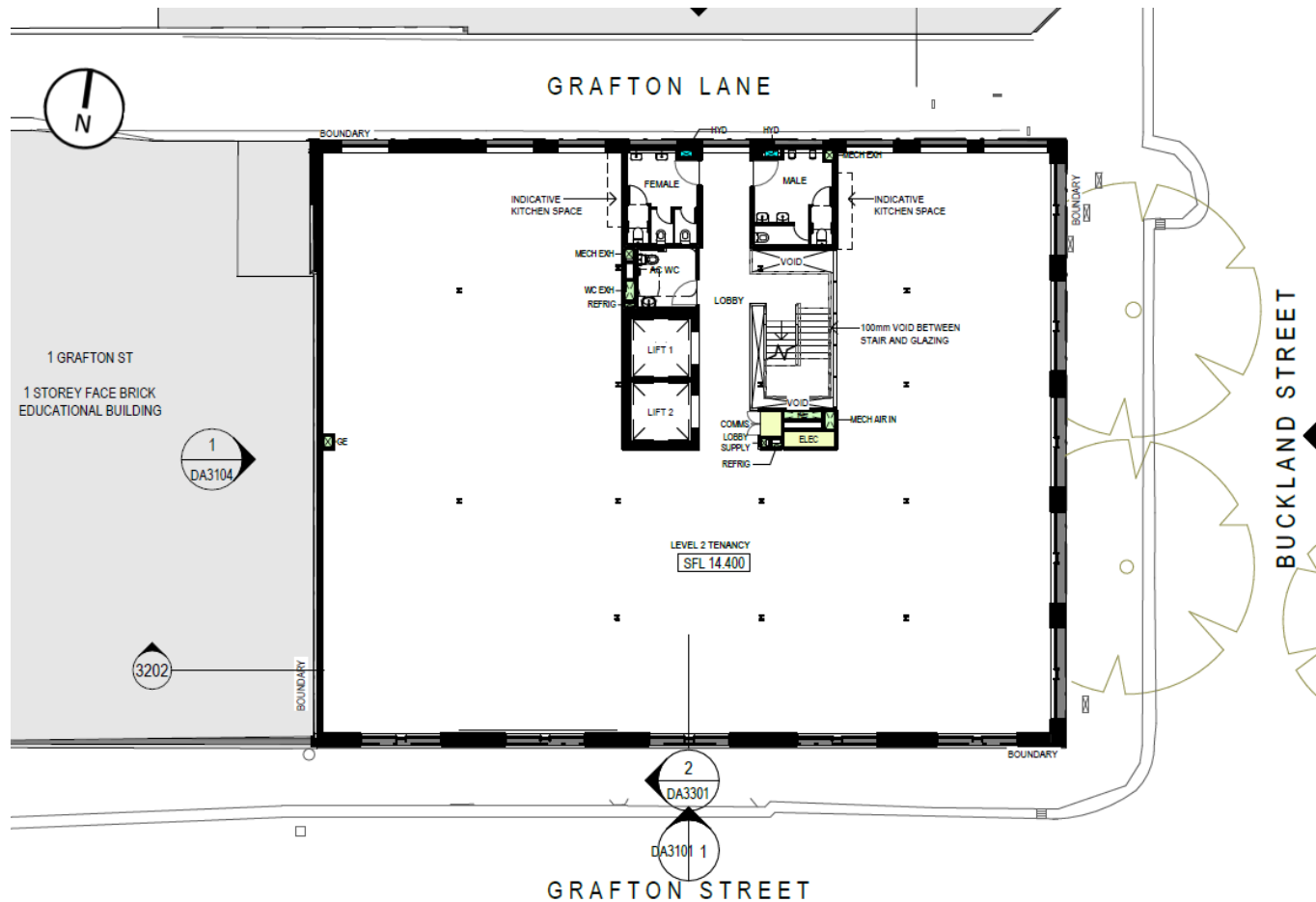






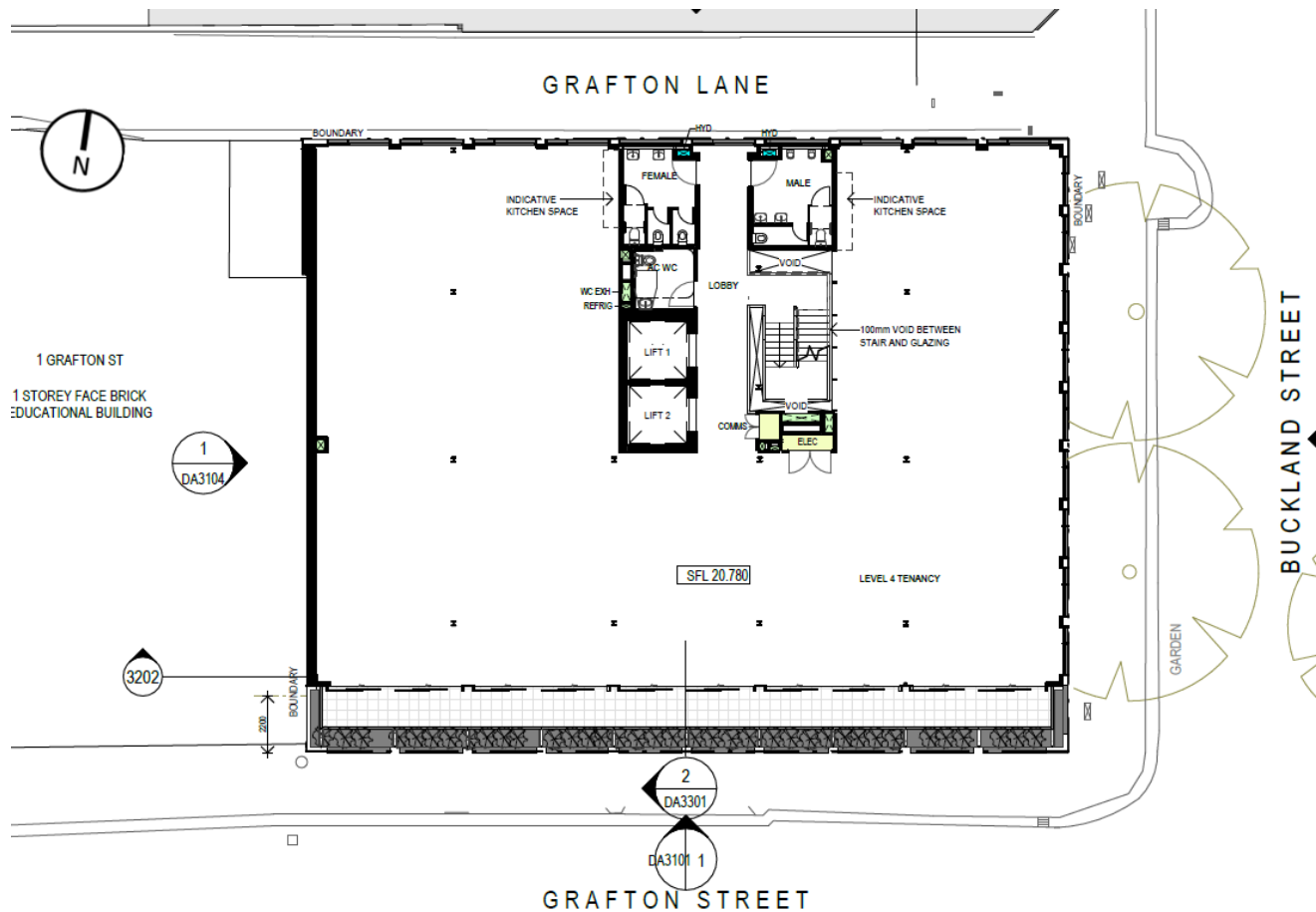


level 1 floor plan

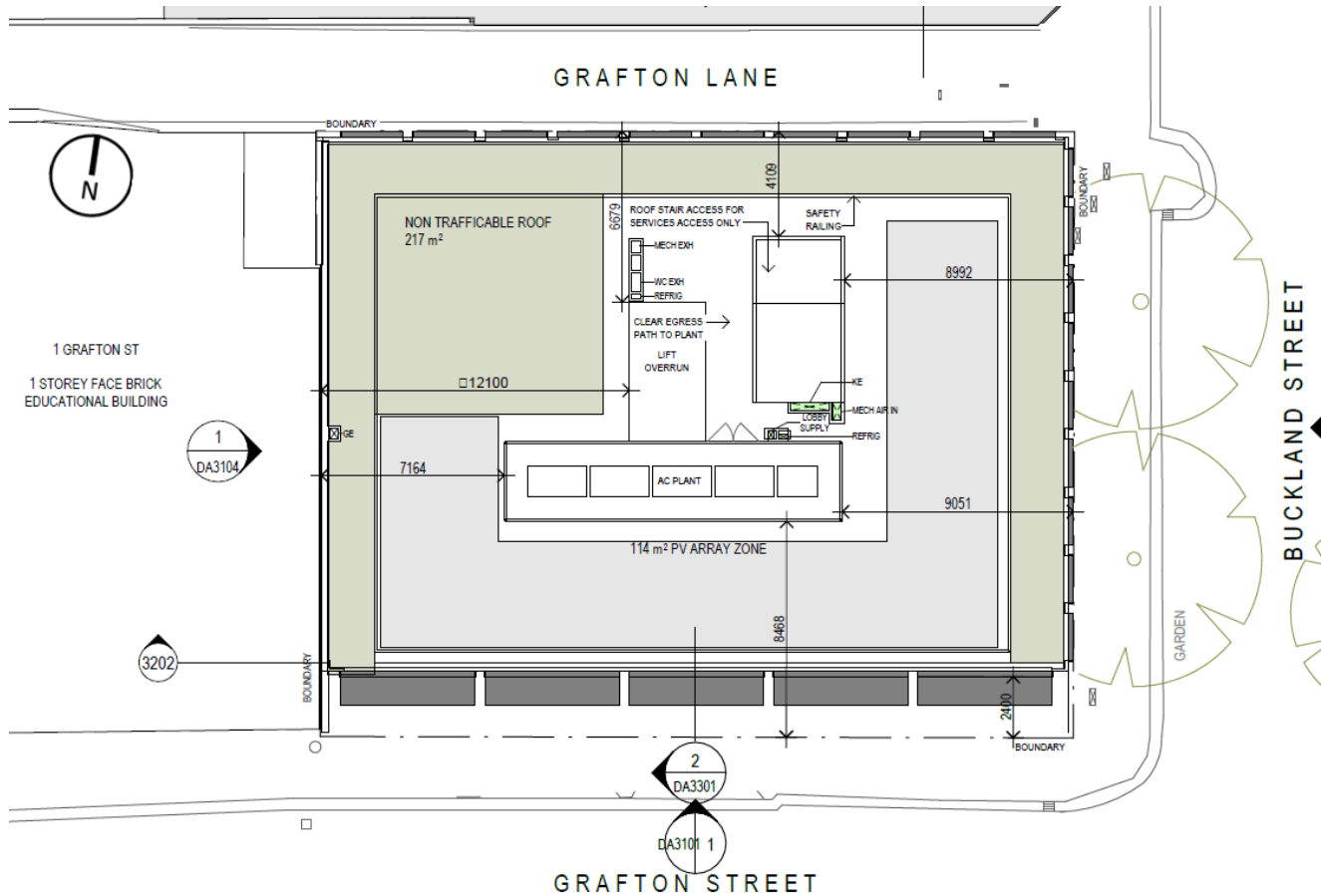


level 2 floor plan





level 4 floor plan (above retained facade)



1 GRAFTON ST  
1 STOREY FACE BRICK  
EDUCATIONAL BUILDING

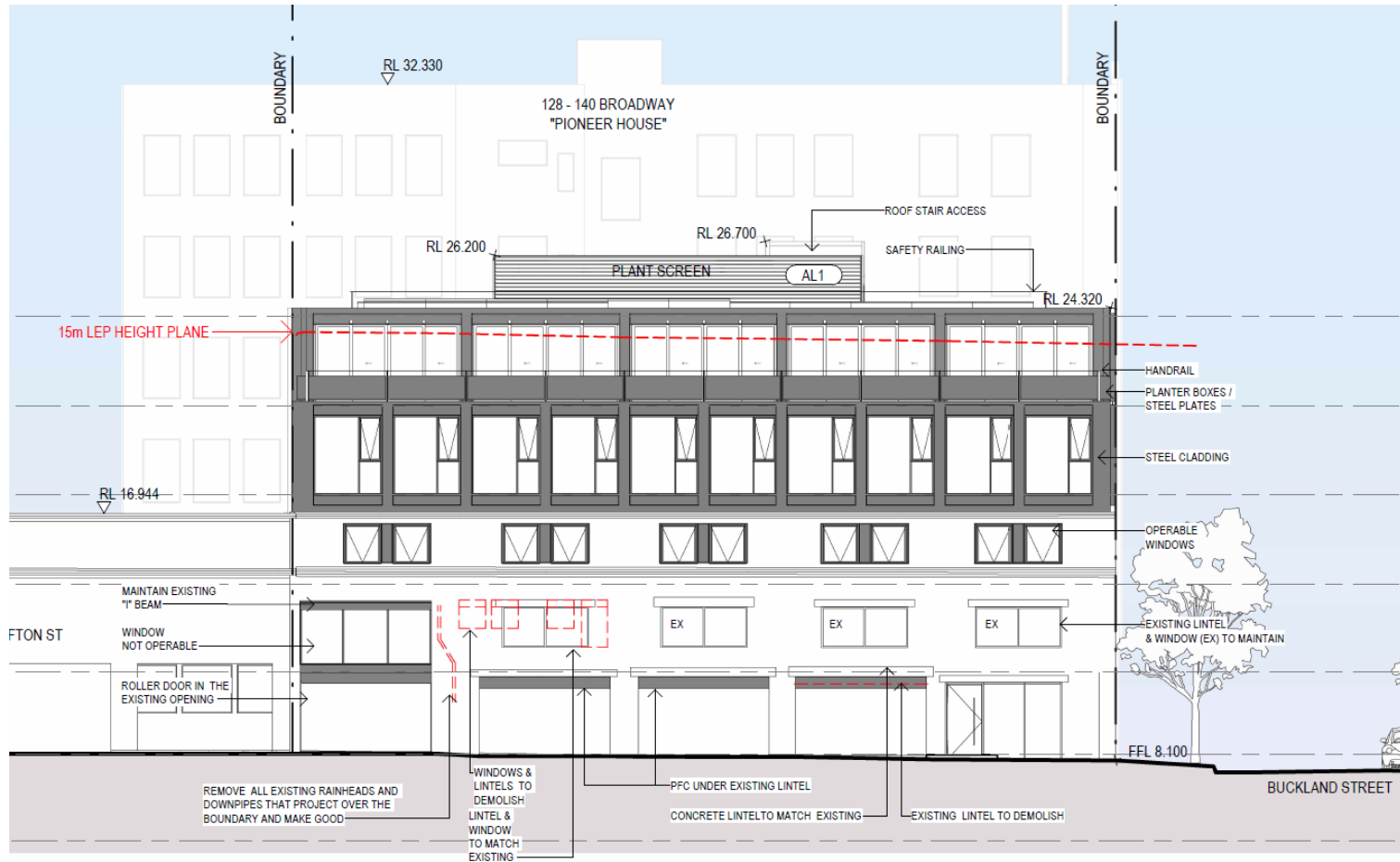
GRAFTON LANE

BUCKLAND STREET

GRAFTON STREET

roof plan



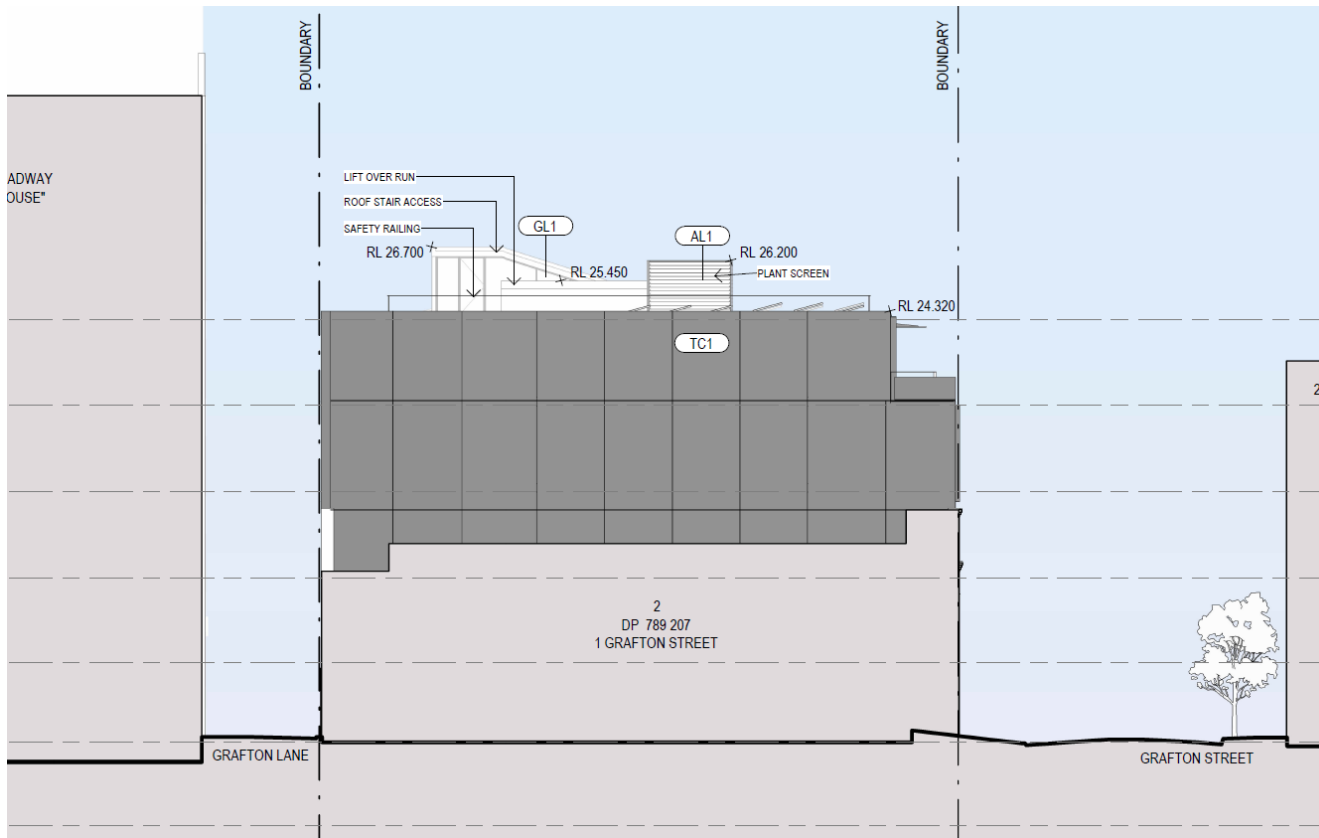


Grafton Street - south elevation

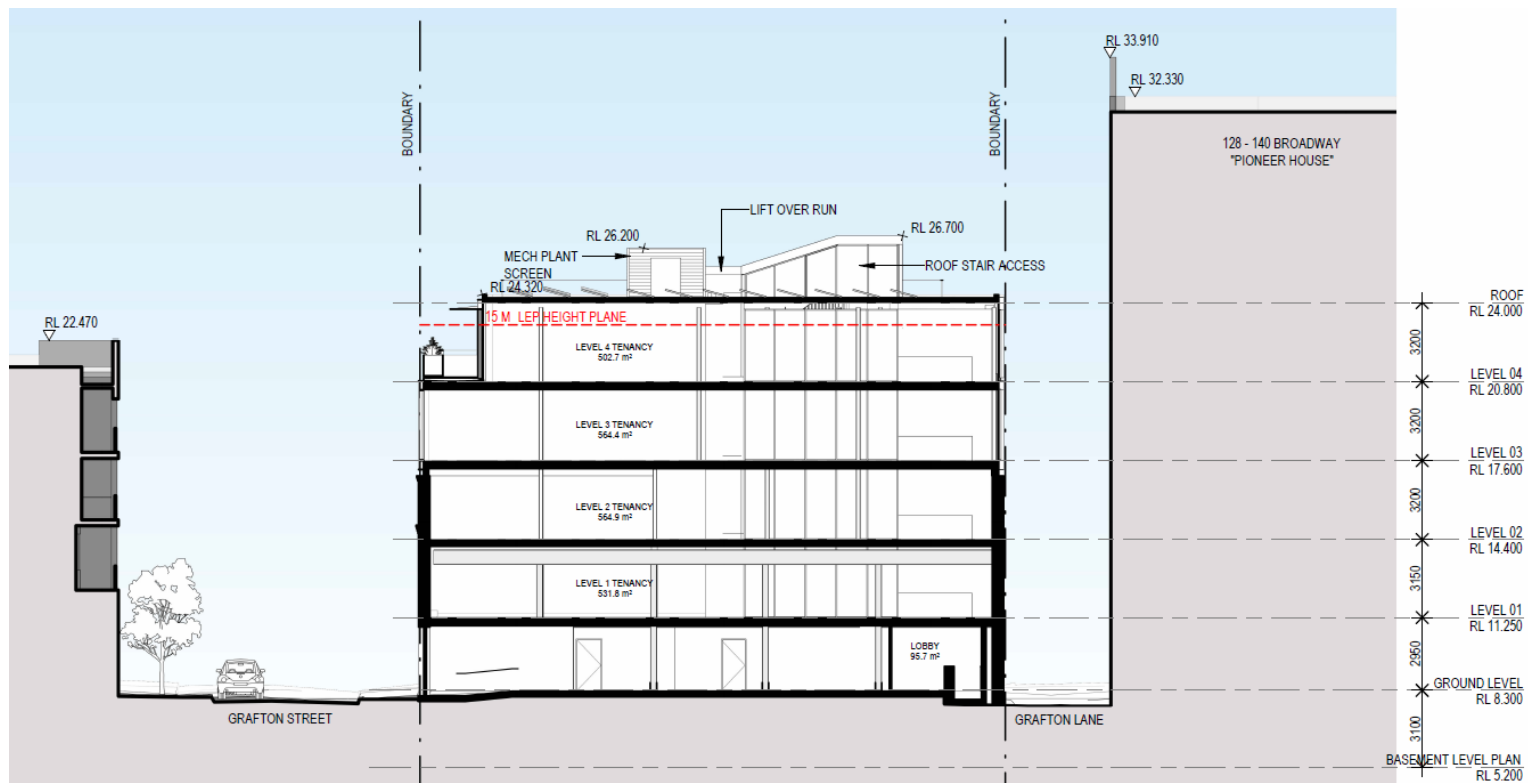


Buckland Street - east elevation

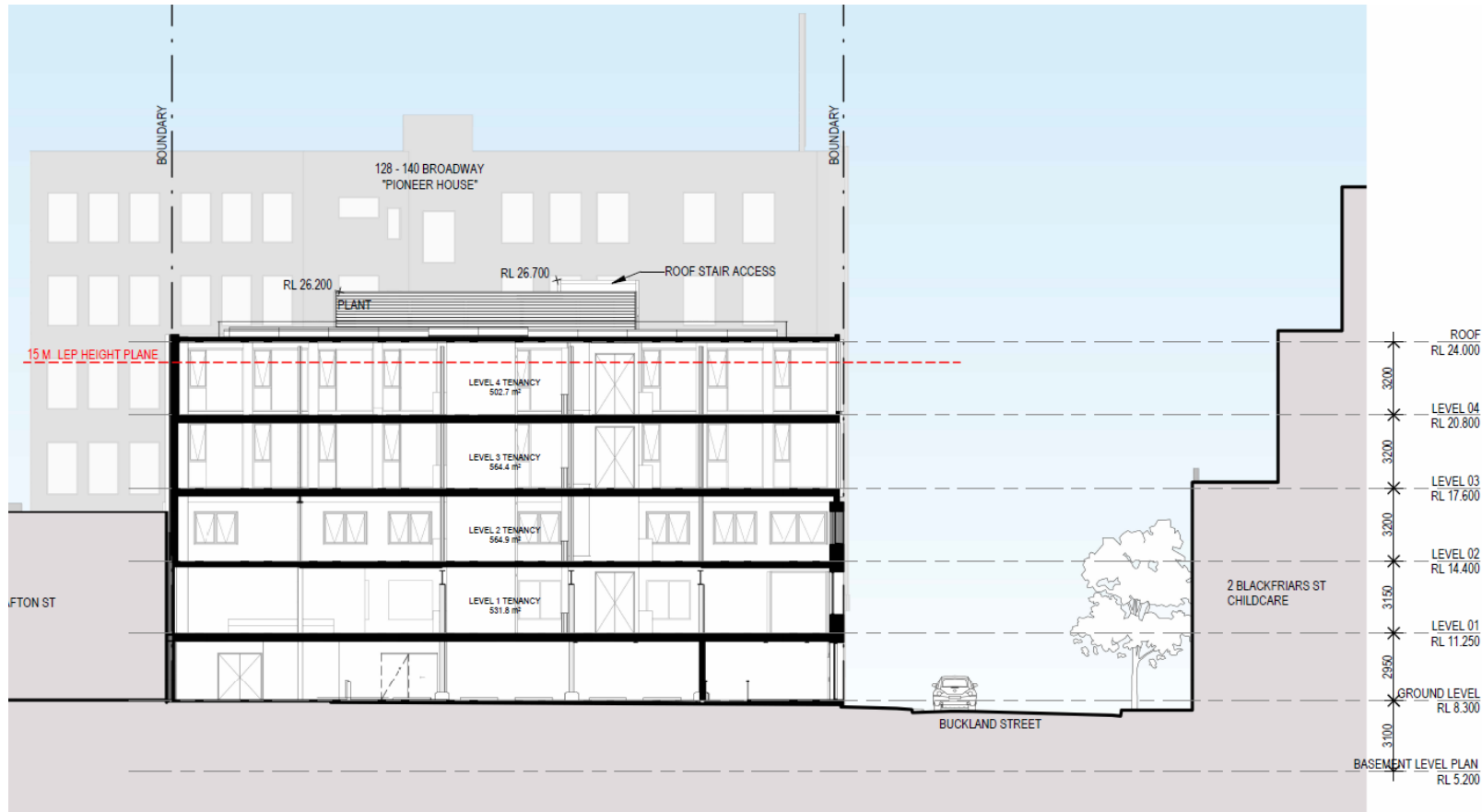




west elevation



north/south section



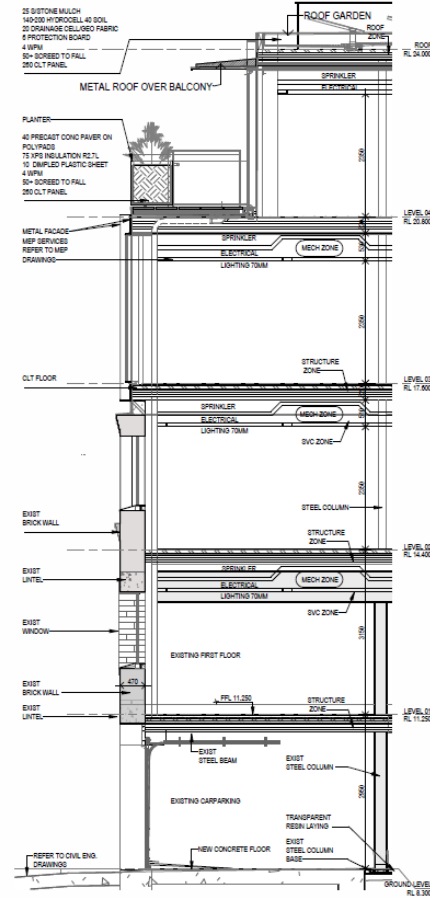
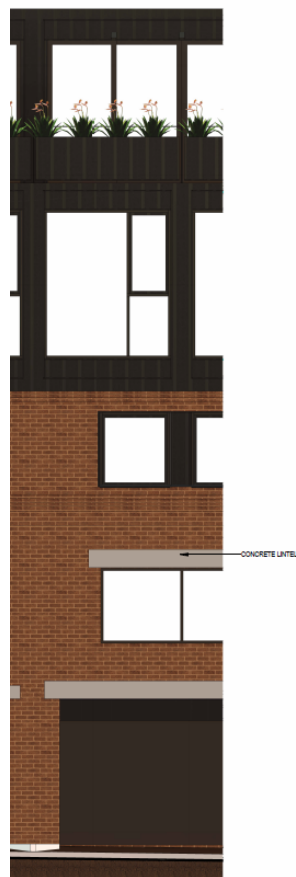
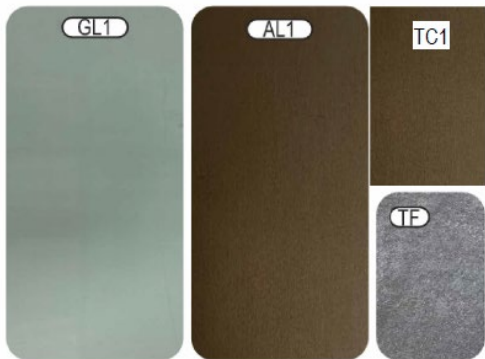
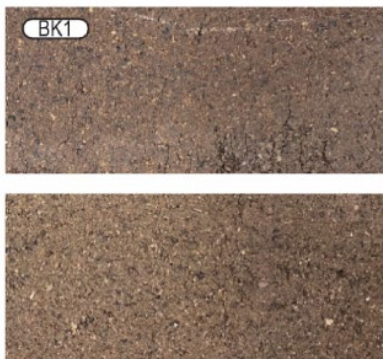


TC1  
 RENDER TEXTURE COATING. COLOR TO MATCH  
 AL1.  
 CONTROL V JOINTS AS SHOWN.

BK1  
 REMOVE EXIST CEMENT RENDER & MAKE GOOD  
 EXIST BRICK WORK.

AL1  
 METAL WINDOW FRAMES & LOUVRES FLAT DARK  
 BRONZE-KINETIC.  
 STEEL FRAMES PAINTED TO MATCH. EQUAL TO  
 DULUX WEATHERMAX HBR MIO.

GL1  
 CLEAR GLAZING MINIMUM VLT 46%  
 TF TILED FLOORING GREY GRANITE



materials and colours schedule

# Compliance with key LEP standards

	control	proposed	compliance
height	15m	18.74 24.9% variation	no cl 4.6 variation request supported
FSR	4:1	3.93	yes

# Compliance with key DCP controls

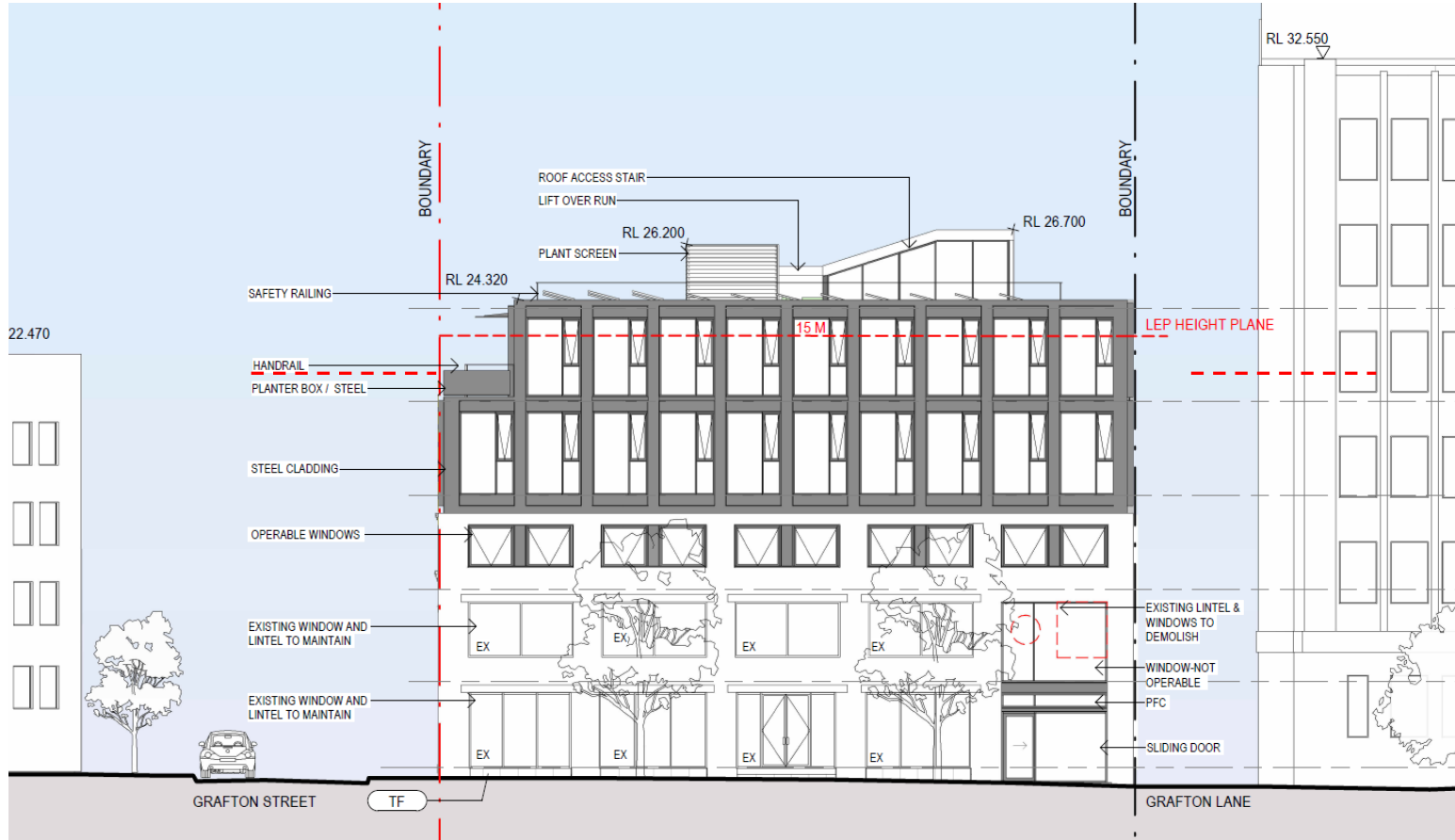
	control	proposed	compliance
4.2.1.1 Height in storeys	4 storeys	5 storeys	no supported
4.2.1.2 Floor to floor heights	GF: 4.5m floor to floor Other floors: 3.6m floor to floor	GF: 2.95m FF: 3.15m Lvl 2-4: 3.2m	no supported

# Issues

- height non-compliance
- floor to ceiling heights
- flooding
- Submissions – construction impacts

# Height

- exceeds height standard by 3.75m (24.9%)
- non-compliance arises from upper portion of top floor, lift over run, plant and roof access stair
- non-compliance does not result in significant adverse impact
- built form appropriate to context
- Complies with FSR
- Clause 4.6 variation request supported



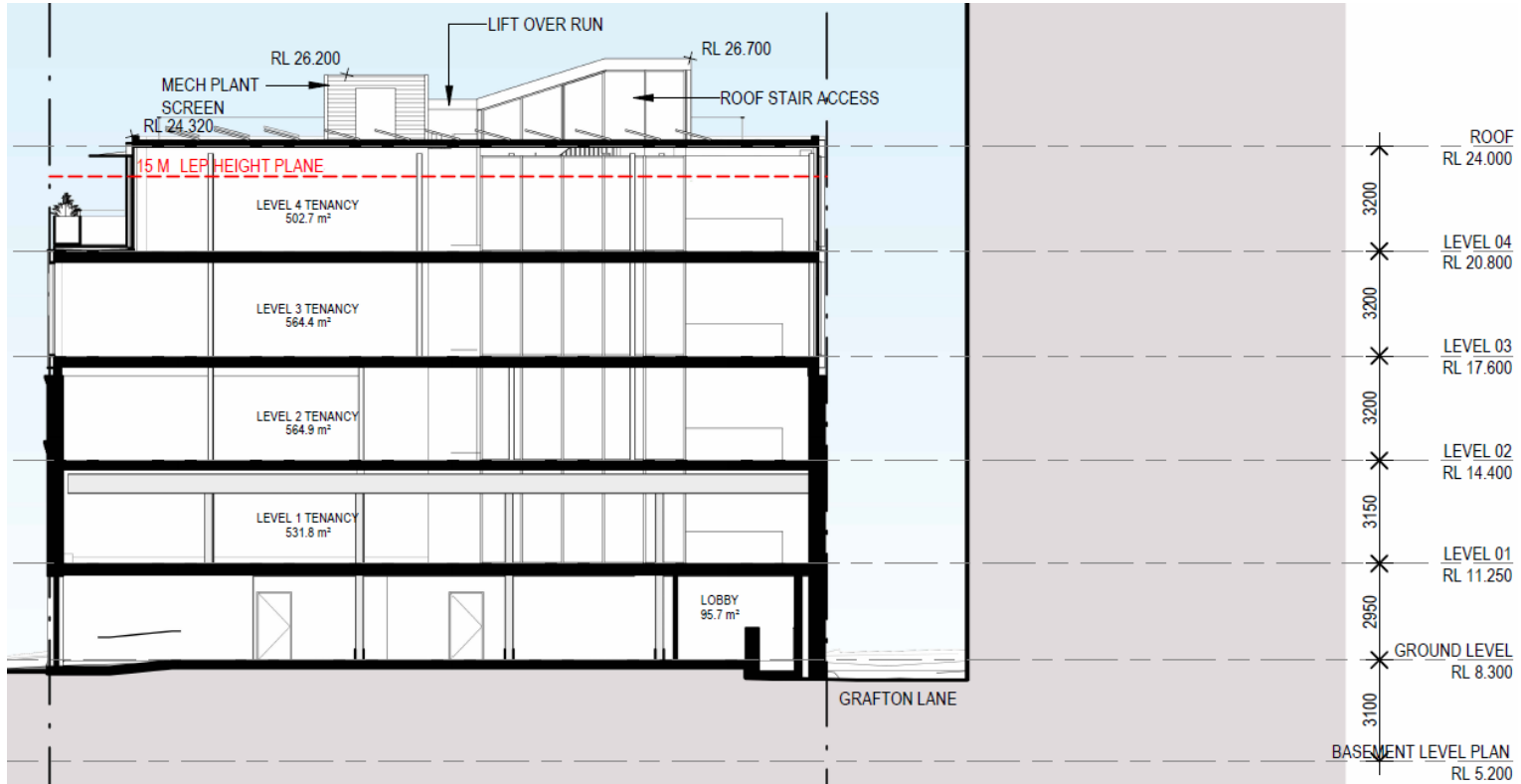
proposed height exceedance

# Floor to floor heights

- ground floor and first floor height constrained by existing window openings in the retained facade and retained structural beams
- floor to floor heights increase to 3.2m on introduced floors (levels 2 - 4)



# Floor to floor heights



# Flooding

- retention of ground floor RL of 8.3 (AHD)
- ground floor is 90mm below 1% AEP flood level
- conditions are recommended which require:
  - flood compatible materials below the 1% AEP flood level
  - flood sensitive devices installed above the 1% flood level
  - implementation of a Flood Emergency Response Plan

# Construction impacts

- submissions raised concerns with construction impacts:
  - noise
  - access
  - traffic
  - dust and debris
- impacts from construction are addressed by standard conditions of consent

# Recommendation

- approval subject to conditions